

**VILLAGE OF TARRYTOWN
BOARD OF TRUSTEES
WORK SESSION 6:15 P.M.
WEDNESDAY, OCTOBER 30, 2019
Tarrytown Village Hall
One Depot Plaza, Tarrytown, New York**

Executive Session

- A. Police Vacancy Status (Police Chief in attendance)

Board of Trustees Concerns

Open Session

1. SAO Zoning and Scorecard (George Janes in attendance)
2. Backyard Chickens – Proposed Local Law
3. NYS Urban Forestry Program Grant
4. Motorcycle/Scooter Parking Permits
5. Resolution re Holiday Parking
6. Village Code Change – Parking Paulding Avenue
7. ARB Law Review
8. Geo Textile Edge in Patriots Park
9. Foundation Location for New 9-11 Memorial
10. Agreements with Schools (Day Camp, Gas, Use of Recreation Facilities)
11. Grant Requests to Senator Stewart-Cousins and Assemblyman Abinanti
12. Senior Bus
13. Artis – SEQRA and Zoning Text Amendments
14. Request to NYSDOT to Prohibit Oversized Loads on Route 9 in Tarrytown
15. Tarrytown's 150th Anniversary
16. Greenburgh Complete Count Committee Representative

LOCAL LAW ____ - 2019

A local law to amend Chapter 125 of the Code of the Village of Tarrytown entitled "Dogs and Other Animals", to amend the code provisions to allow for the keeping of chickens subject to certain restrictions.

Section 1. Be it enacted by the Board of Trustees of the Village of Tarrytown as follows (Language in **Bold and Underlined** to be added, language in ~~**Strikethrough and bold and underlined**~~ to be deleted):

Section 2. Amending Existing Provision. Chapter 125, Section 1. Entitled "Definitions" is hereby amended as follows:

A used in this chapter the following terms shall have the meanings indicated:

CHICKEN

An egg-producing mature female chicken or hen.

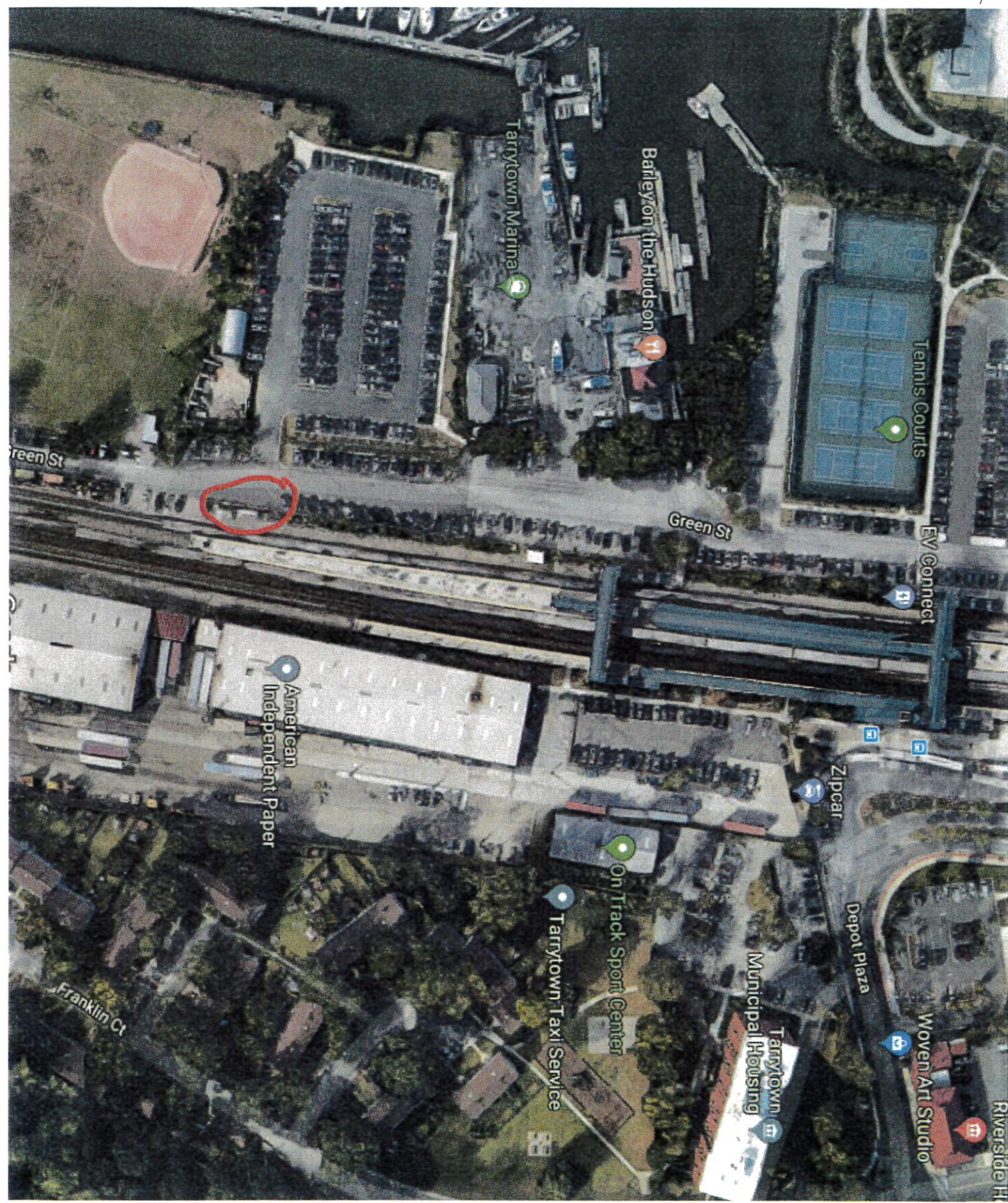
DOMESTIC ANIMAL

Any domesticated sheep, horse, cattle, swine, fowl **(but not including chickens maintained in accordance with this Chapter)**, duck, goose, turkey, goat, hare, skunk, fox, pigeon (including homing or racing pigeons), pheasant or other bird which is raised in confinement but not normally considered a household pet.

Section 3. New Provision. A new Chapter 125, Section 3 shall be added as follows:

§ 125-3. Keeping of Chickens.

- A. **The keeping of 12 or fewer chickens is permitted as an accessory use in all single-family residential zones (the R-80, R-60, R-40, R-30, R-20, R-15, R-10, R-7.5 and R-5) subject to the following restrictions:**
 - (1) **All structures used for the housing and feeding of chickens and all exercise yards, pens or other areas used for their maintenance shall be located: (i) at least [redacted] feet from each property line and (ii) at least [redacted] feet from any existing residence other than that on the lot. Abutting lots with common beneficial ownership shall be considered a single lot.**
 - (2) **Chickens must be confined at all times to a chicken coop and/or fenced-in enclosure and shall not be permitted to roam freely on any property in the Village of Tarrytown.**
 - (3) **Any chicken coop or similar-type structure for housing or enclosing chickens shall not exceed 8 feet in height nor be greater than 25 feet in building coverage and shall not be constructed or erected prior to obtaining a building permit.**
 - (4) **All feed shall be housed in rodentproof containers.**



5
Village of Tarrytown
One Depot Plaza
Tarrytown, New York 10591
914-631-1652
fax: 914-631-8770
cbooth@tarrytowngov.com

From: John Barbelet <jbarbelet@tarrytowngov.com>
Sent: Wednesday, October 16, 2019 10:16 AM
To: Carol Booth <CBooth@tarrytowngov.com>
Subject: RE: Holiday Parking Resolution

I would suggest 12/3/19 (Tuesday) allows us to cover meters on Monday through either Friday 12/27/19 or Saturday 12/28/19. Ricjh should be in the loop as well.

Chief John Barbelet
Tarrytown Police Department
One Depot Plaza
Tarrytown, NY 10591
914-631-5544
jbarbelet@tarrytowngov.com

From: Carol Booth
Sent: Wednesday, October 16, 2019 9:57 AM
To: John Barbelet <jbarbelet@tarrytowngov.com>
Subject: Holiday Parking Resolution

Thinking ahead – The following was for the last year's holiday parking. Does it need any changes?

HOLIDAY METER PARKING

BE IT RESOLVED that the Board of Trustees of the Village of Tarrytown does hereby approve the holiday parking meter program for the 2018 holiday season by designating certain parking meters to be covered to allow free parking subject to a two-hour time limit, for the period from Monday, December 3, 2018 through Friday, December 28, 2018 at the following locations: all downtown business district street meters, municipal lots on South Washington Street East, South Washington Street West, McKeel Avenue, Neperan Road, South Broadway and the West Elizabeth Street lot.

Best Regards,

Carol A. Booth
Village Clerk
Village of Tarrytown
One Depot Plaza
Tarrytown, New York 10591
914-631-1652
fax: 914-631-8770
cbooth@tarrytowngov.com

**Village of Tarrytown Police Department
Memorandum**

To: Chief John Barbelet
 From: Lt. Gregory Budnar
 Date: September 18, 2019
 RE: Village Code Change, Specifically Schedule XII (Section 291-77).

Currently Village Code 291-16 (Parking prohibited at all times) restricts parking at any time upon any of the streets or parts thereof described in Schedule XII (Section 291-77).

Currently Village Code 291-77 (Schedule XII) lists and describes the streets and/or street parts where parking is prohibited in accordance with Village Code 291-16. Currently Paulding Avenue is regulated as follows;

Name of Street	Side	Location
Paulding Avenue	North	From west end of Paulding Avenue east for a distance of 10 feet
Paulding Avenue	South	From west end of Paulding Avenue east to a point opposite the west side of Hudson Place
Paulding Avenue	West	Entire length

The Police Department has received complaints regarding the recent influx and high volume of vehicles parking on both sides of the roadway causing an unsafe condition for motorist trying to enter and exit Paulding Avenue. This unsafe condition is caused when vehicles are parked on both sides of the roadway between Broadway and the "bend" in the roadway just west of Broadway. After reviewing the unsafe conditions and discussing options the following code change to Schedule XII has been recommended; (changes in bold italic print)

Name of Street	Side	Location
<i>Paulding Avenue</i>	<i>North</i>	<i>From Broadway west for a distance of 122 feet</i>
<i>Paulding Avenue</i>	<i>South</i>	<i>From Broadway west for a distance of 150 feet</i>



7

LOCAL LAW ____ - 2019

A local law to amend Chapter 9 of the Code of the Village of Tarrytown entitled Architectural Review Board to amend the review of certain building permit applications by the Architectural Review Board

Section 1. Be it enacted by the **Board of Trustees of the Village of Tarrytown** as follows (Language in **Bold and Underlined** to be added, language in ~~**Strikethrough and bold and underlined**~~ to be deleted):

Section 2. Chapter 9, Section 4. (A) "Referral of applicants for building permits" shall be amended to read as follows:

Chapter 9, Section 4. (A) shall be re-titled – Referral of applicants for building permits or other work for Architectural Review."

Section 3. Chapter 9, Section 4. (A) "Referral of applicants for building permits or other work for Architectural Review" shall be amended to read as follows:

Section 4. (A) Referral of applicants for building permits or other work for Architectural Review:

Except where an application for a certificate of appropriateness must be submitted to the Architectural Review Board pursuant to the Landmark and Historic District Act (Chapter 191, Historic Districts and Landmarks), every application for a building permit shall be referred by the Building Inspector to the Architectural Review Board, provided that:

- (1) There will be construction, reconstruction or alteration of any building or structure that affects the exterior appearance of the building or other structure and is visible from any public street;
- (2) The proposed plans include construction, reconstruction or alteration of any deck or uncovered porch that affects the exterior appearance of the building or other structure, is visible from any public street and exceeds 25 square feet, including steps;
- (3) The proposed plans include construction, reconstruction or alteration of existing/new windows or security grills that affect the exterior appearance of the building or other structure and are visible from any public street; or
- (4) The proposed plans include construction, reconstruction or alteration of any fence or wall exceeding three feet in height or 20 feet in length that is visible from any public street. **involving**

6.7. Walls, including retaining walls, that are over 30 inches (30") and that are within the required minimum side yard or rear yard setback.

7.8. Applications for signage or awnings;

8.9. Applications for a property within the Restricted Retail RR Zone or commercial properties outside the RR Zone involving:

(a) Construction, reconstruction or alteration of any building or structure that affects the portion of the exterior appearance of the building or other structure that is visible from any public street, except applications involving only fences, retaining walls, steps, and /or sidewalks;

(b) Construction, reconstruction or alteration of any deck or uncovered porch that affects the exterior appearance of the building or other structure, is visible from any public street and exceeds 25 square feet (such size calculation shall include any steps); or

(c) Construction, reconstruction or alteration of existing/new windows or security grills that affect the exterior appearance of the building or other structure and are visible from any public street.

(d) Painting using different colors than those that exist on the building, that affect the exterior appearance of the building or other structure and are visible from any public street.

4. B. Exceptions that apply in every zoning district except for the RR Zone, historic districts and historic designated structures– Since it is the intent of the Board of Trustees to provide a process for routine maintenance or changes and upgrades to buildings that do not result in major, detrimental departures from the original construction and design of a structure, applications that are excepted from ARB review include:

1. additions that increase the existing building footprint by less than 25% for buildings built after 1929 (see section 4. A. 45.)

2. fences that are only in the rear yard or side yard set back, less than 48" and not fronting on a street. (Finish of the fence must face the adjoining property.)

Section 4: The current Section 9-4 (B), (C), and (D) should be renumbered to 9-4 (C), (D) and (E).

Section 5: Supersession of other laws.

All laws, ordinances, rules and regulations of the Village are modified and superseded by this article with respect to their application to parking and enforcement.

Section 6: Severability

If the provisions of any article, section, subsection, paragraph, subdivision or clause of this local law shall be judged invalid by a court of competent jurisdiction, such order of judgment shall not affect or invalidate the remainder of any article, section, subsection, paragraph, subdivision or clause of this local law.

Section 7: Effective Date

This local law shall take effect immediately upon filing in the office of the New York State Secretary of State in accordance with Section 27 of the Municipal Home Rule Law.

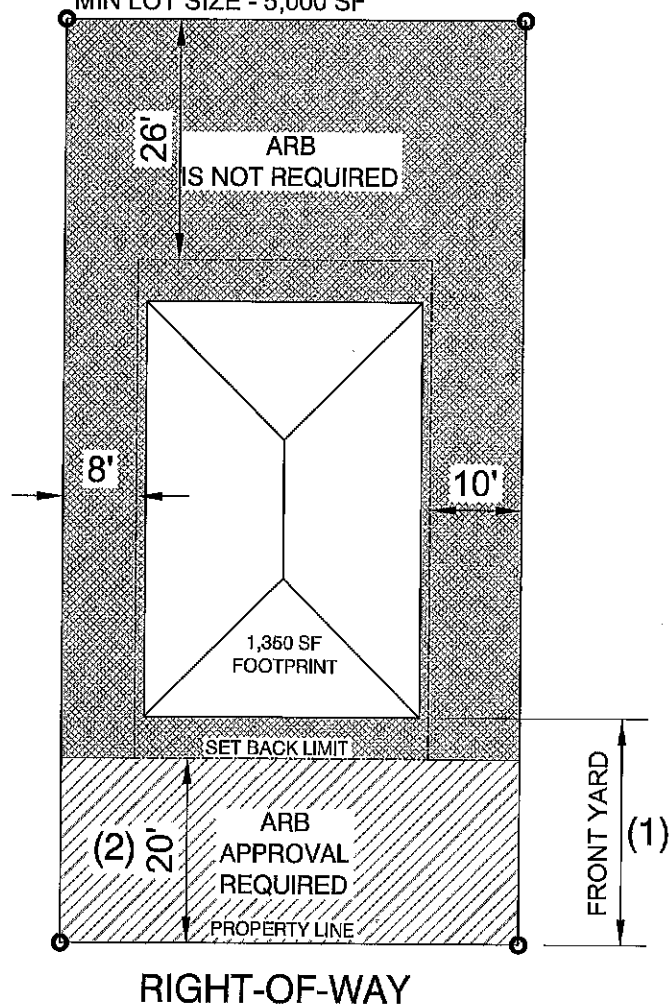
NOTES:

- (1) Indicates building front yard.
- (2) Indicates front yard setback.

EXAMPLE:

R-5 ZONE

MIN LOT SIZE - 5,000 SF



FRONTAGE ON SINGLE ROAD

ROAD CENTERLINE

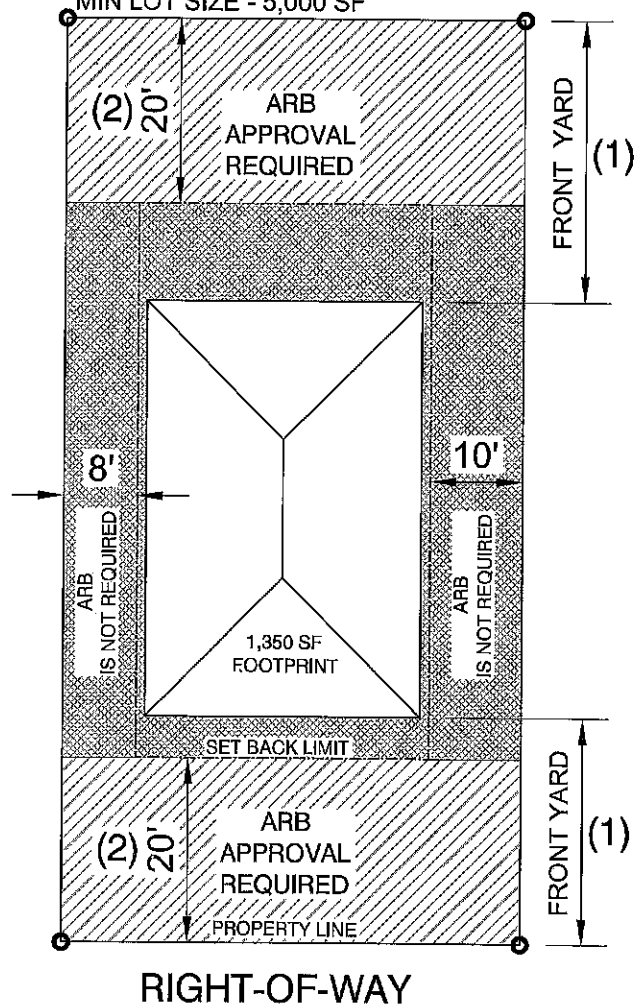
CURB LINE

RIGHT-OF-WAY

EXAMPLE:

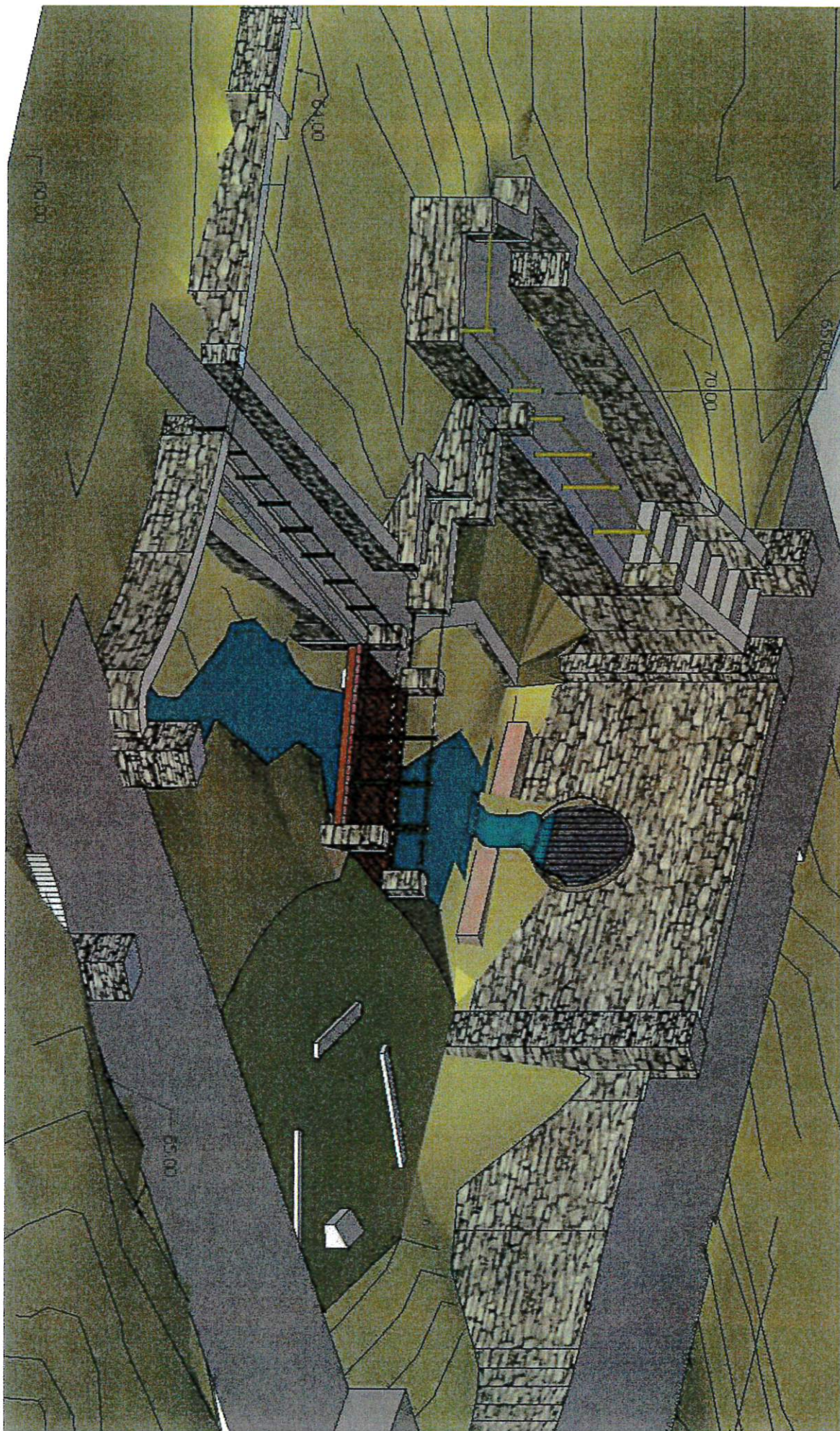
R-5 ZONE

MIN LOT SIZE - 5,000 SF



FRONTAGE ON TWO ROADS

SCHEMATIC PLAN



11

Kathy Deufemia

From: Richard Slingerland
Sent: Monday, October 21, 2019 1:09 PM
To: Kathy Deufemia
Cc: Joshua Ringel; Drew Fixell (external)
Subject: FW: Letter to Village of Dobbs Ferry Mayor Fixell from Majority Leader Andrea Stewart-Cousins
Attachments: Scanned from a Xerox Multifunction Device.pdf

Please put on for discussion at the Work Session.

Richard Slingerland
Village Administrator
Village of Tarrytown
One Depot Plaza
Tarrytown, New York 10591
914-631-1785
fax: 914-909-1208
e-mail: rslingerland@tarrytowngov.com

From: Susan Grelick <grelick@nysenate.gov>
Sent: Monday, October 21, 2019 11:52 AM
To: Drew Fixell (external) <drew.fixell@gmail.com>
Cc: Richard Slingerland <rslingerland@tarrytowngov.com>
Subject: Letter to Village of Dobbs Ferry Mayor Fixell from Majority Leader Andrea Stewart-Cousins

Dear Mayor Fixell:

Enclosed please find a letter to you from Majority Leader Stewart-Cousins.

The Majority Leader would like you to send your requests for your municipality's capital funding needs (\$50,000 or more) for the upcoming year.

This will assist her in determining applicable grants for your municipality when they become available.

She would like to receive your requests by November 30, 2019.

Thank you for your attention to this matter.

Sincerely,
Susan Grelick
Legislative Director & Counsel
Office of Majority Leader Senator Andrea Stewart-Cousins
907 Legislative Office Building
Albany, New York 12247
Phone: (518) 455-2585
Fax: (518) 426-6811
grelick@nysenate.gov

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Kathy Deufemia

From: Richard Slingerland
Sent: Tuesday, October 22, 2019 5:18 PM
To: Kathy Deufemia
Cc: Joshua Ringel
Subject: FW: State and Municipal Facilities (SAM) Program Guidelines

For the Work Session.

Richard Slingerland
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From: Joanne Sold <soldj@nyassembly.gov>
Sent: Monday, September 23, 2019 2:31 PM
To: 'Mayor Armacost' <mayor@hastingsgov.org>; 'Robert Williams' <mayorelmsford@elmsfordny.org>; mayormcloughlin@dobbsferry.com; Drew Fixell <dfixell@tarrytowngov.com>; 'Peter Scherer' <pscherer@pleasantville-ny.gov>; 'Nancy Kaboolian' <nkaboolian@ardsleyvillage.com>; 'Paul Feiner' <pfeiner@greenburghny.com>; 'Carl Fulgenzi' <cfulgenzi@mtpleasantny.com>; kway@sleepyhollowny.org; bsmith@irvingtonny.gov
Cc: 'Mary Beth Murphy' <Villagemanager@hastingsgov.org>; 'Meredith Robson' <mrobson@ardsleyvillage.com>; 'Charlene Indelicato' <cindelicato@dobbsferry.com>; 'Michael Mills' <michaelmills@elmsfordny.org>; agiaccio@villageofsleepyhollow.org; agiaccio@sleepyhollowny.org; Richard Slingerland <rslingerland@tarrytowngov.com>; 'Larry Schopfer' <lschopfer@irvingtonny.gov>; 'Administrator' <administrator@Pleasantville-ny.gov>
Subject: State and Municipal Facilities (SAM) Program Guidelines

Good Afternoon,

It was good seeing everyone at the VOC meeting on Thursday evening.

As I mentioned, Tom is seeking to obtain SAM monies for projects in his district.

The project must be in the amount of at least \$125,000. The allowable uses are as follows:

- Construction, improvement, rehabilitation or reconstruction of facilities owned by the municipality;
- the acquisition of capital facilities and assets, including fixed capital assets;
- acquisition of certain equipment, including heavy duty road maintenance and construction vehicles, pavers, snow plows, street sweepers and heavy duty fire, emergency response and law enforcement vehicles; and
- acquisition of equipment and other capital assets, including vehicles, in support of health, safety, technology or innovation.

Please note: The process is a lengthy one and does not have a predictable timeline. There are multiple agencies that must review projects that are nominated including the Assembly Ways and Means, DASNY and DOB. No project may be completed before a Preliminary Application is submitted to Ways and Means and no grant is certain until a Grant Disbursement Agreement is issued by DASNY.

Proposed Zoning Amendment Text:

FLOATING/OVERLAY ZONE PROPOSAL

DEFINITIONS SECTION:

§ 305-5: Word Usage; Terms Defined

Alzheimer's/Dementia Care Housing: A residential facility operated by an entity licensed by the State of New York to operate an assisted living residence which combines dwelling units, communal dining, routine protective oversight, personalized assistance and supportive services, and provides 24-hour care for people suffering from Alzheimer's disease or Alzheimer's-like disorders resulting in dementia, but who do not need the skilled medical care provided by a nursing home or convalescent care facility.

TEXT SECTION:

§ 305-40-1. A/D Floating/Overlay Zone.

§ 305-40-1A Introduction

By action of the Board of Trustees, a qualifying parcel of land may be rezoned to the A/D Floating/Overlay Zone, either upon application of the parcel's owner or upon the initiative of the Board of Trustees. Upon approval, this district shall be in addition to and shall overlay all other zoning districts where it is applied so that any parcel of land lying in the A/D Floating/Overlay Zone shall also lie in one or more of the other zoning districts provided for by the Zoning Ordinance. The effect is to create a new district which has the characteristics and limitations of the underlying district, together with the

the ground and be used by plants. These practices include rain gardens, vegetated swales, green roofs and porous pavements, along with bioretention areas, vegetated swales dry swales, and green roofs.

(2) A facility for Alzheimer's/Dementia Care Housing shall have no more than 100 beds.

(3) Notwithstanding any other provisions of Village Code, a facility for Alzheimer's/Dementia Care Housing is not residential within the meaning of § 305-130 "Affordable Housing."

(4) The maximum coverage of all buildings shall be 13%, and the maximum coverage of all buildings, structures and paved areas shall be 45% of the total site area;

(5) The minimum setback of all permitted buildings, structures and paved areas from the right-of-way of any public street shall be 35 feet, from any residential zoning district, shall be 175 feet, and from any non-residential zoning district shall be 0 feet;

6) Off-street parking shall be provided at the rate of 0.50 spaces per bed.

